ADG-DIM-01	ADG CRITICAL DIMENSIONS - LEVEL 01	-
ADG-DIM-02	ADG CRITICAL DIMENSIONS - LEVEL 02	A
ADG-DIM-03	ADG CRITICAL DIMENSIONS - LEVEL 03	-
ADG-DIM-04	ADG CRITICAL DIMENSIONS - LEVEL 04	-
DA-00-1	Cover Sheet	B
DA-01-1	Basement	-
DA-01-2	Lower Ground 2	A
DA-01-3	Lower Ground 1	A
DA-01-4	Upper Ground	A
DA-01-5	Level 1	A
DA-01-6	Level 2	A
DA-01-7	Level 3	A
DA-01-8	Level 4	B
DA-01-9	Roof	B
DA-01-10	Signage	B
DA-02-1	Elevations	A
DA-02-2	Elevations	A
DA-02-3	External Finishes Schedule	A
DA-03-1	Sections	A
DA-03-2	Sections	A
DA-03-3	Sections	-
DA-04-1	Detail Sections	-
DA-04-6	Acoustic Louvre Detail	-
DA-05-2-GFA	Lower Ground 2	-
DA-05-3-GFA	Lower Ground 1	-
DA-05-4-GFA	Upper Ground	-
DA-05-5-GFA	Level 1	-
DA-05-6-GFA	Level 2	A
DA-05-7-GFA	Level 3	A
DA-05-8-GFA	Level 4	A
DM-01	Demolition	-
HT-01	Height Demonstration Plan	-
SD-01	Sun (Shadow) Diagrams	-
SD-02	Sun (Shadow) Diagrams	-
SK-IMG-01	Proposed 3D Perspectives	A
SK-IMG-02	Proposed 3D Perspectives	A
SK-IMG-03	Proposed 3D Perspectives	-
SK-IMG-04	Proposed 3D Perspectives	-
SK-IMG-05	Proposed 3D Perspectives	A
ST-01.A	Staging Plans	-
ST-01.B	Staging Plans	-
ST-02	Staging Plans	-
TP10.01	Development Summary	A
TP10.02	SEPP 65 Compliance	B
TP10.03	Communal Open Space	A
TP10.04	Storage Plans	A

' BALFOUR PLACE '

376-390 PACIFIC HIGHWAY 1 BALFOUR STREET AND BALFOUR LANE, LINDFIELD NSW

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi
B	24.06.22	S4.56 SUBMISSION RFI RESPONSE	ZZ

27/06/2022 11:35:08 AM

Project **BALFOUR PLACE** Drawing **Cover Sheet** Project No **220023** Date **24.06.22** Author **JLi** Scale: @ A1

Drawing No. **DA-00-1** **B**

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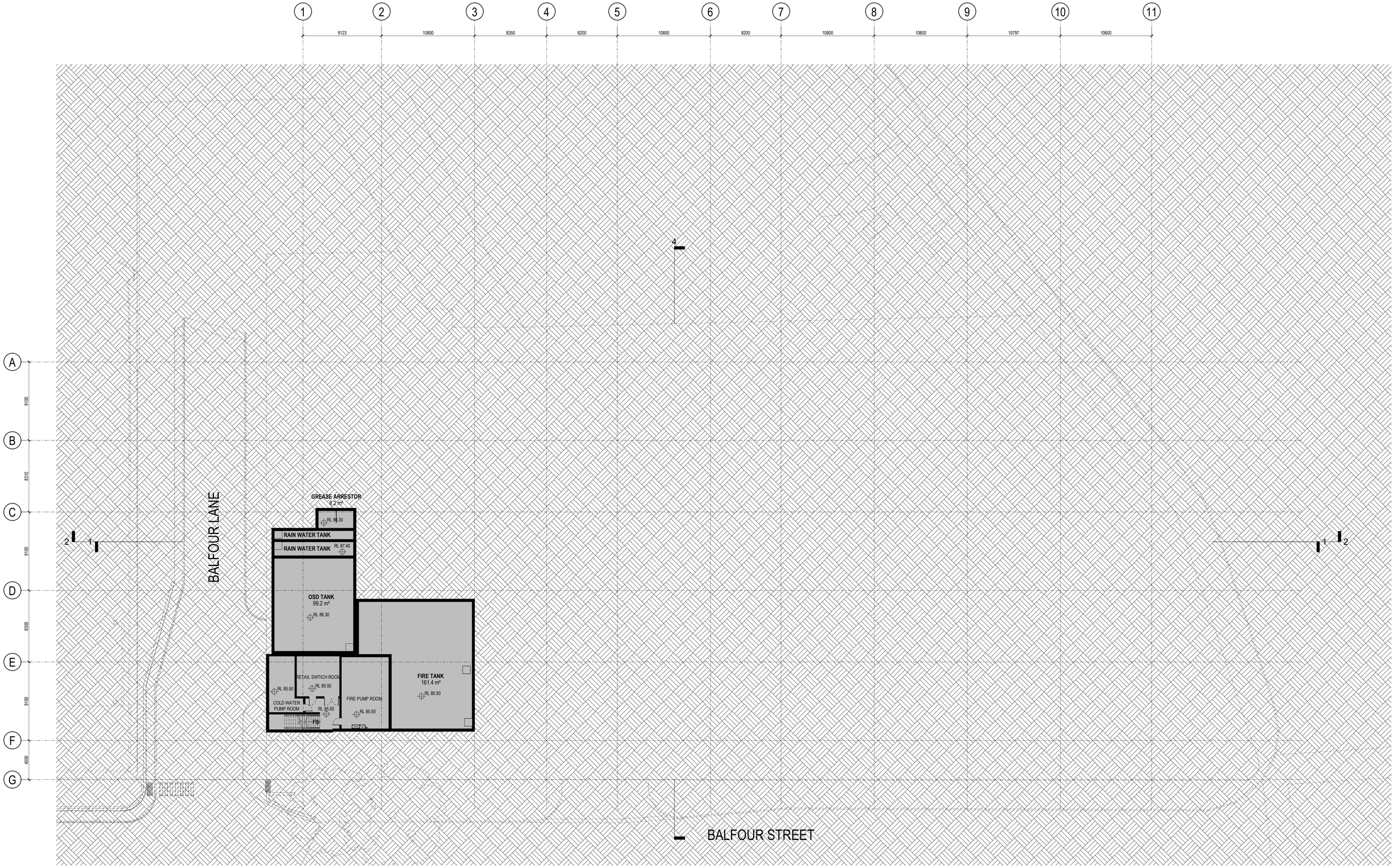

PRELIMINARY

Revisions			
-	07.10.21	S4.56 SUBMISSION	JLi

11/10/2021 2:53:51 PM

Project: **BALFOUR PLACE**

Drawing: **Basement**

Project No: **220023**

Date: **07.10.21**

Author: **JC**

Scale: @ A1: **1 : 200**

Drawing No.: **DA-01-1** - X

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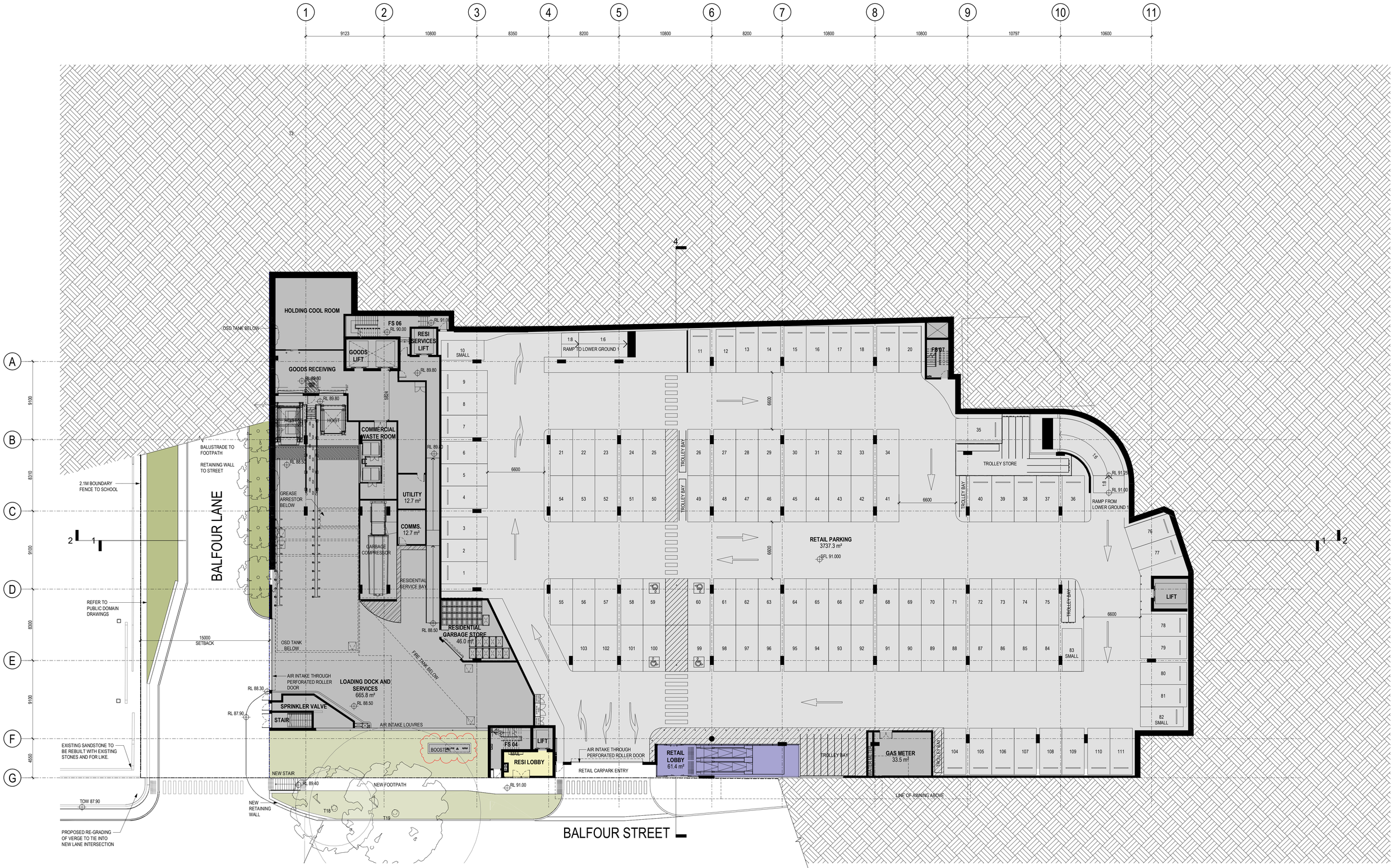

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

2/03/2022 3:16:23 PM

Project: **BALFOUR PLACE**

Drawing: **Lower Ground 2**

Project No: **220023**

Date: **23.02.22**

Author: **JC**

Scale: @ A1: **1 : 200**

Drawing No.: **DA-01-2** **A**

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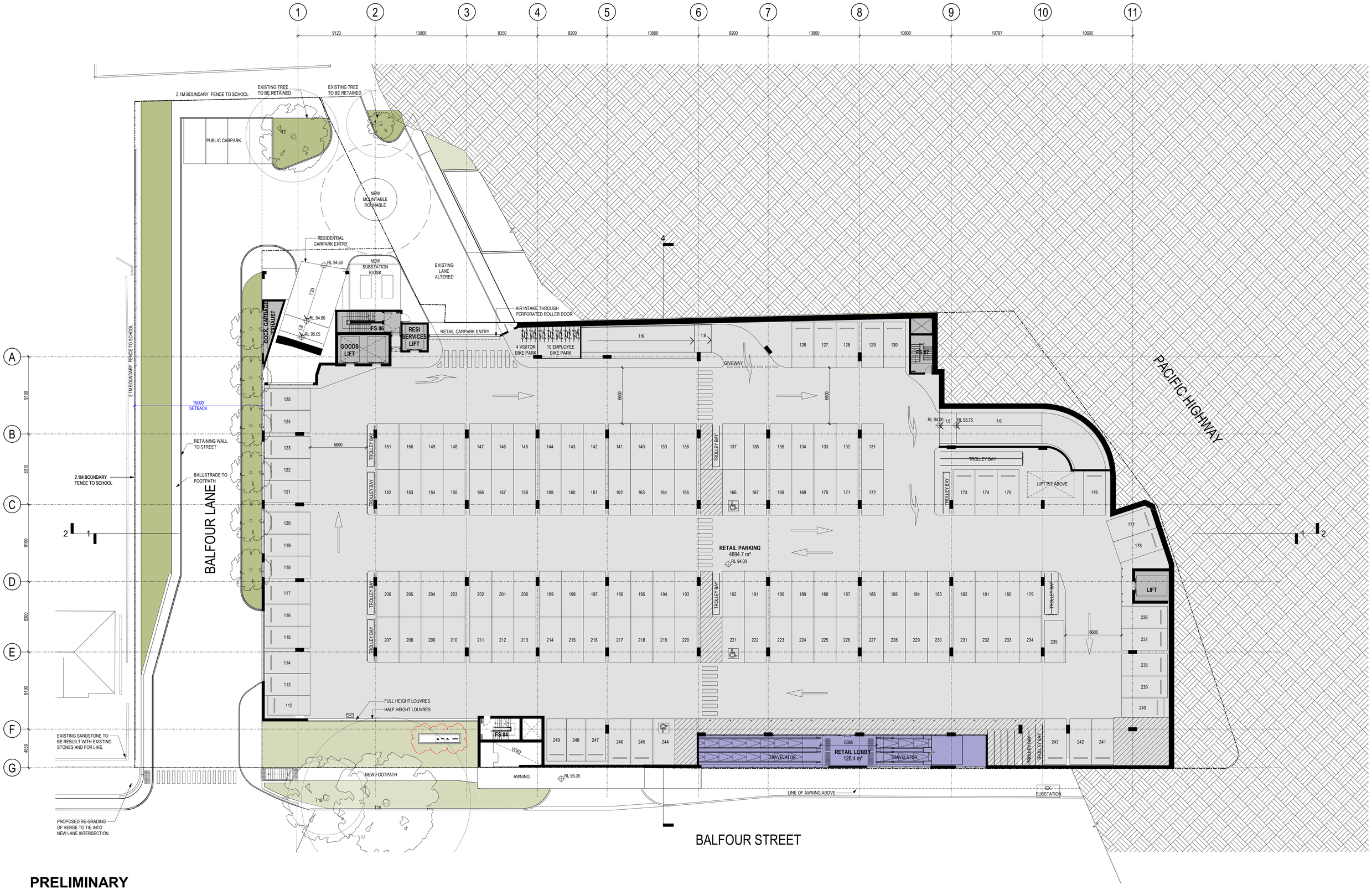

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

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Project / **BALFOUR PLACE**

Drawing / **Lower Ground 1**

Project No / **220023**

Date / **23.02.22**

Author / **JC**

Scale: @ A1 / **1 : 200**

Drawing No. / **DA-01-3** **A**

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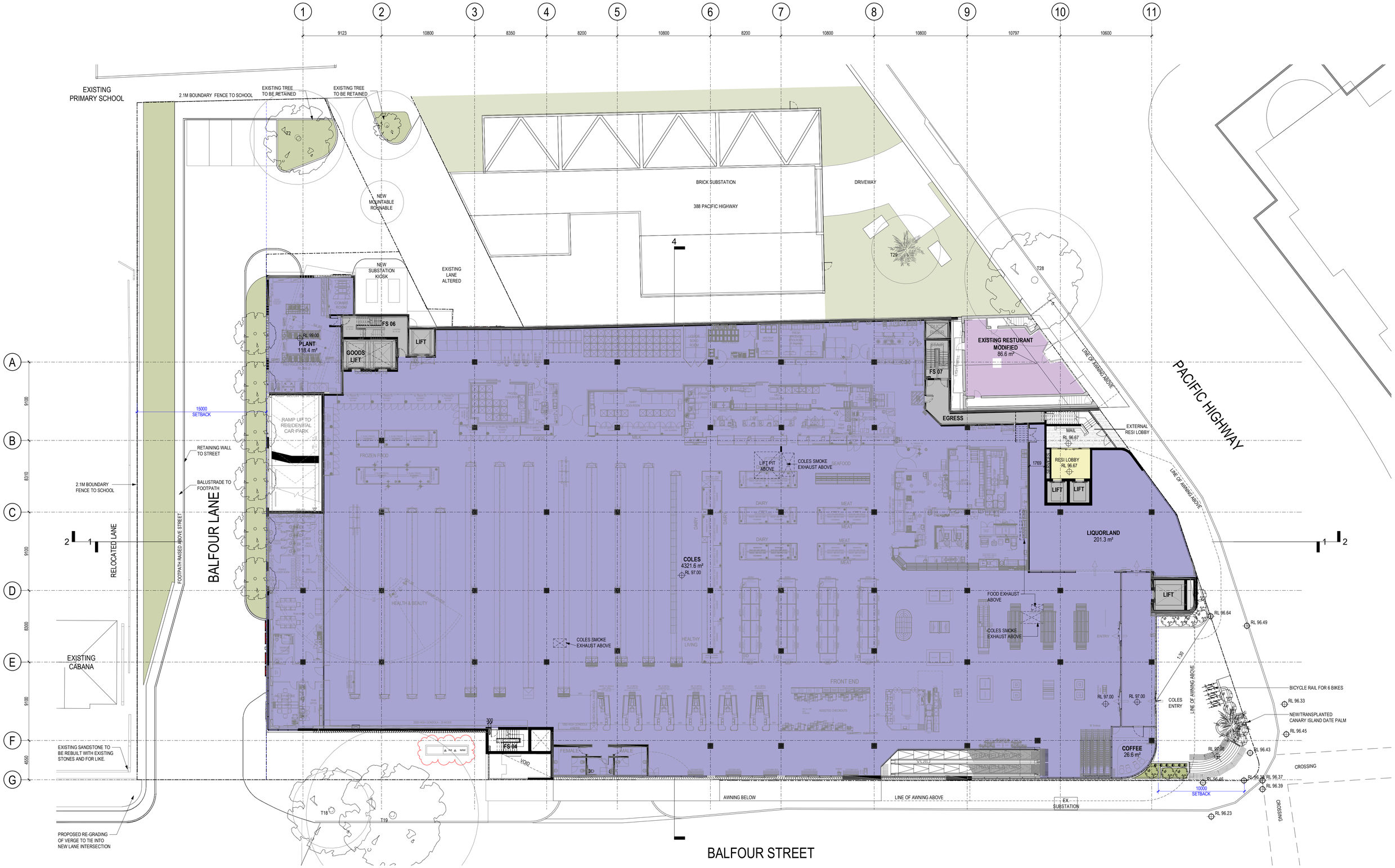

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Revisions			
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A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

2/03/2022 3:16:55 PM

Project: **BALFOUR PLACE**
Drawing: **Upper Ground**
Project No: **220023**
Date: **23.02.22**
Author: **JC**
Scale: @ A1 **1 : 200**
Drawing No.: **DA-01-4** **A**

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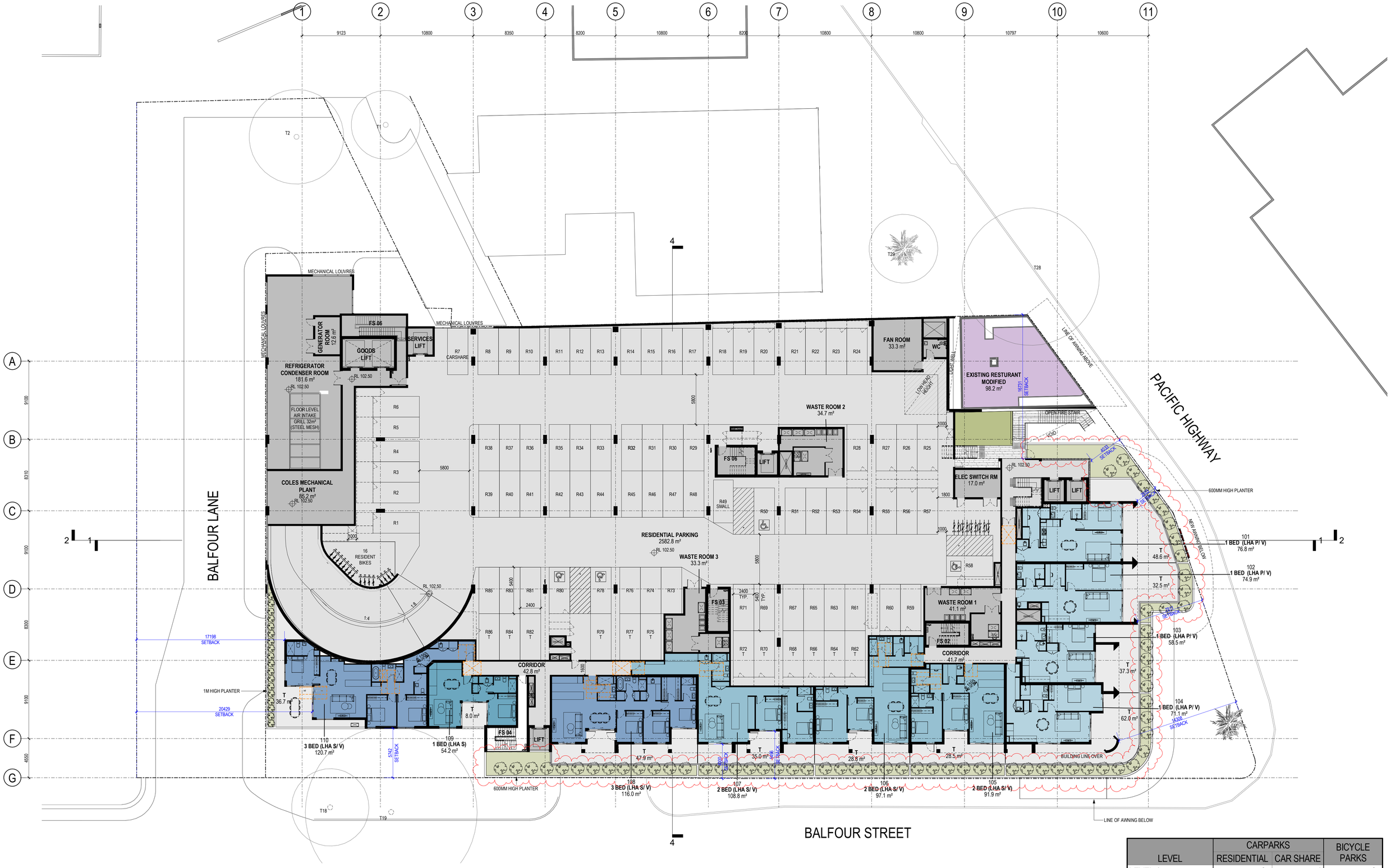

LEVEL	CARPARKS		BICYCLE PARKS
	RESIDENTIAL	CAR SHARE	
LEVEL 1	85	1	25

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Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

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Project **BALFOUR PLACE** Drawing **Level 1** Project No **220023** Date **23.02.22** Author **JC** Scale: @ A1 **1 : 200** Drawing No. **DA-01-5** **A**

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A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

3/03/2022 8:42:25 AM

Project **BALFOUR PLACE** Drawing **Level 2** Project No **220023** Date **23.02.22** Author **JC** Scale: @ A1 **1 : 200** Drawing No. **DA-01-6** **A**

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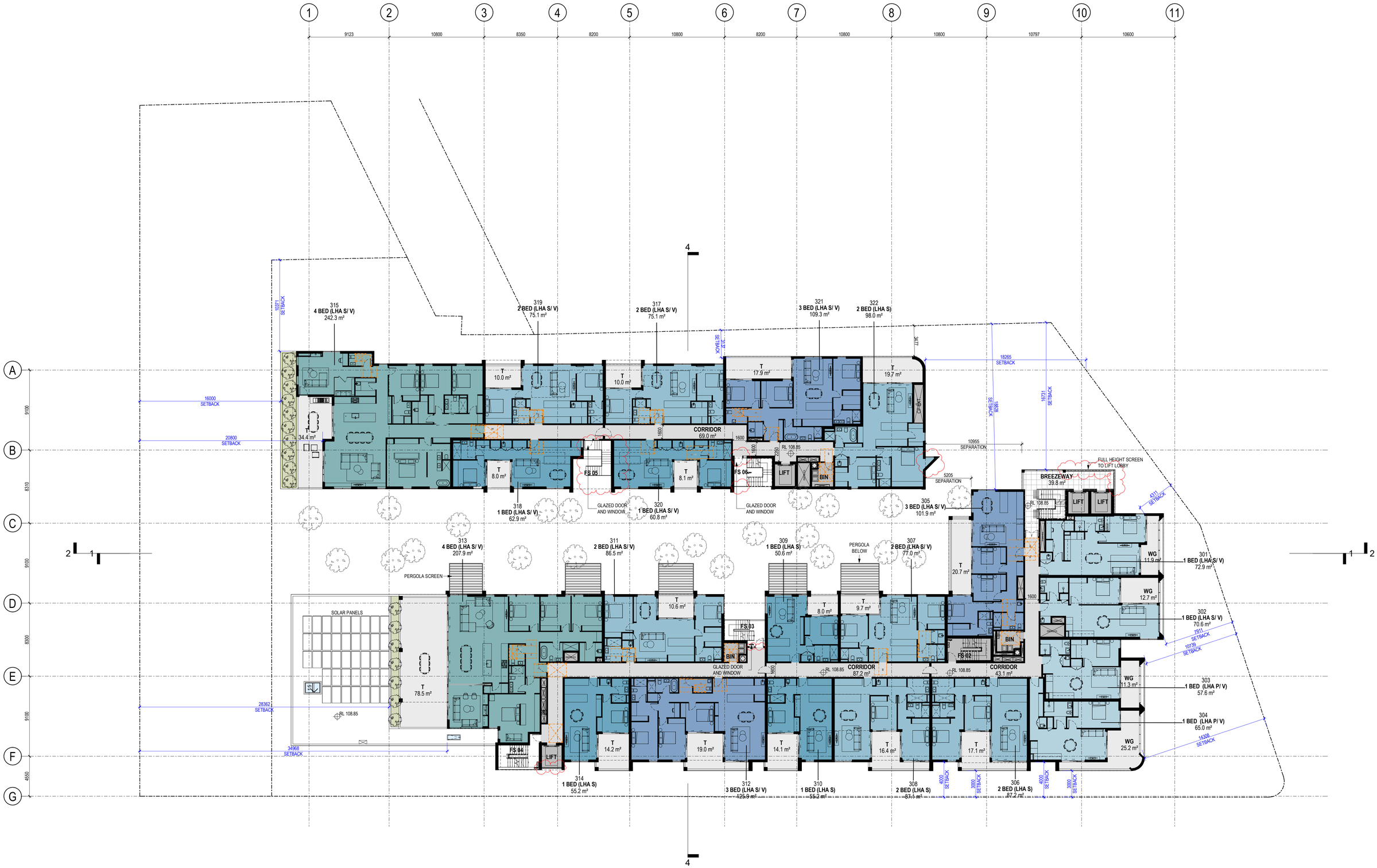

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Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

3/03/2022 8:42:42 AM

Project **BALFOUR PLACE** Drawing **Level 3** Project No **220023** Date **23.02.22** Author **JC** Scale: @ A1 **1 : 200** Drawing No. **DA-01-7** **A**

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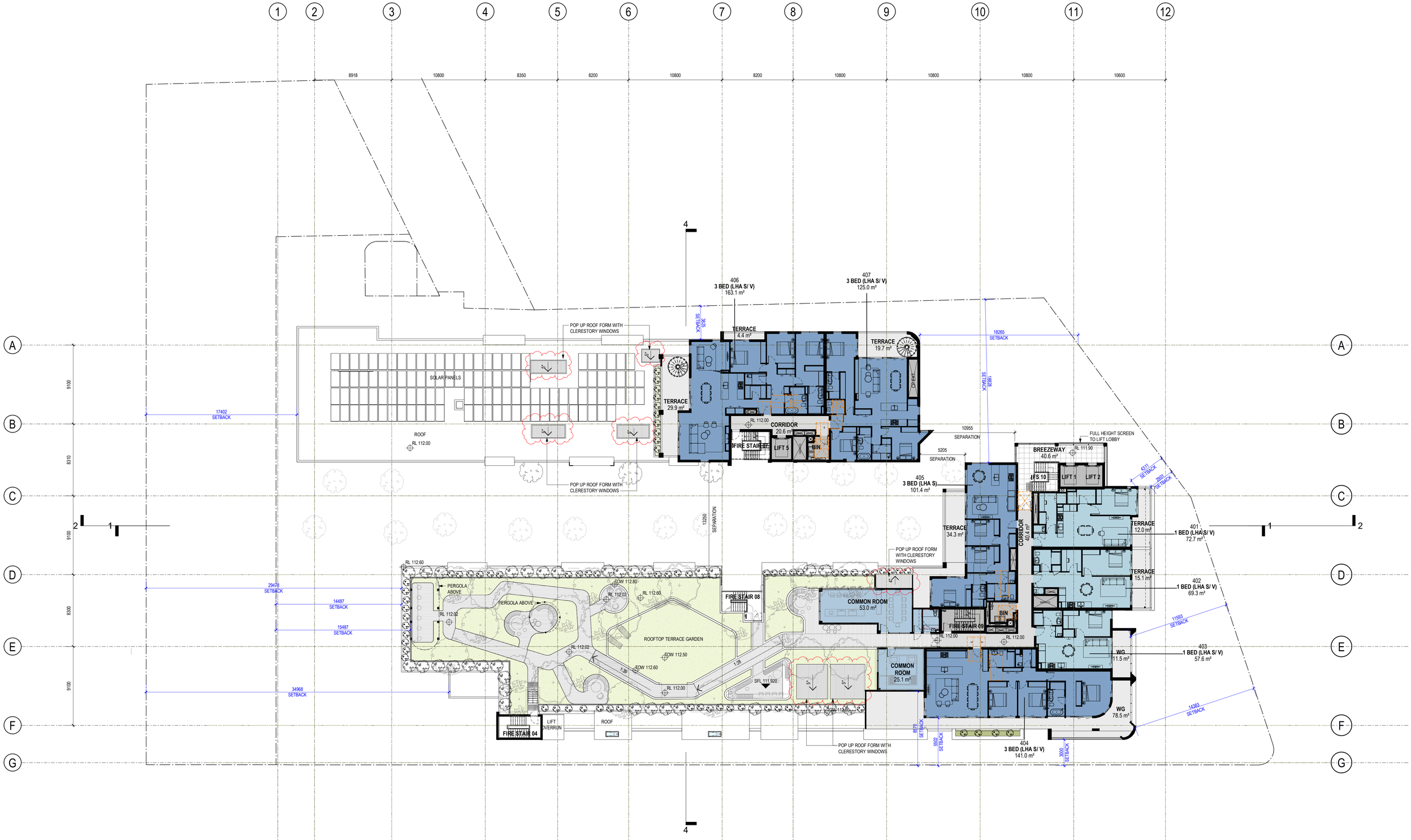

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Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi
B	24.06.22	S4.56 SUBMISSION RFI RESPONSE	ZZ

27/06/2022 11:37:34 AM

Project / **BALFOUR PLACE**

Drawing / **Level 4**

Project No / **220023**

Date / **24.06.22**

Author / **JC**

Scale: @ A1 / **1 : 200**

Drawing No. / **DA-01-8** **B**

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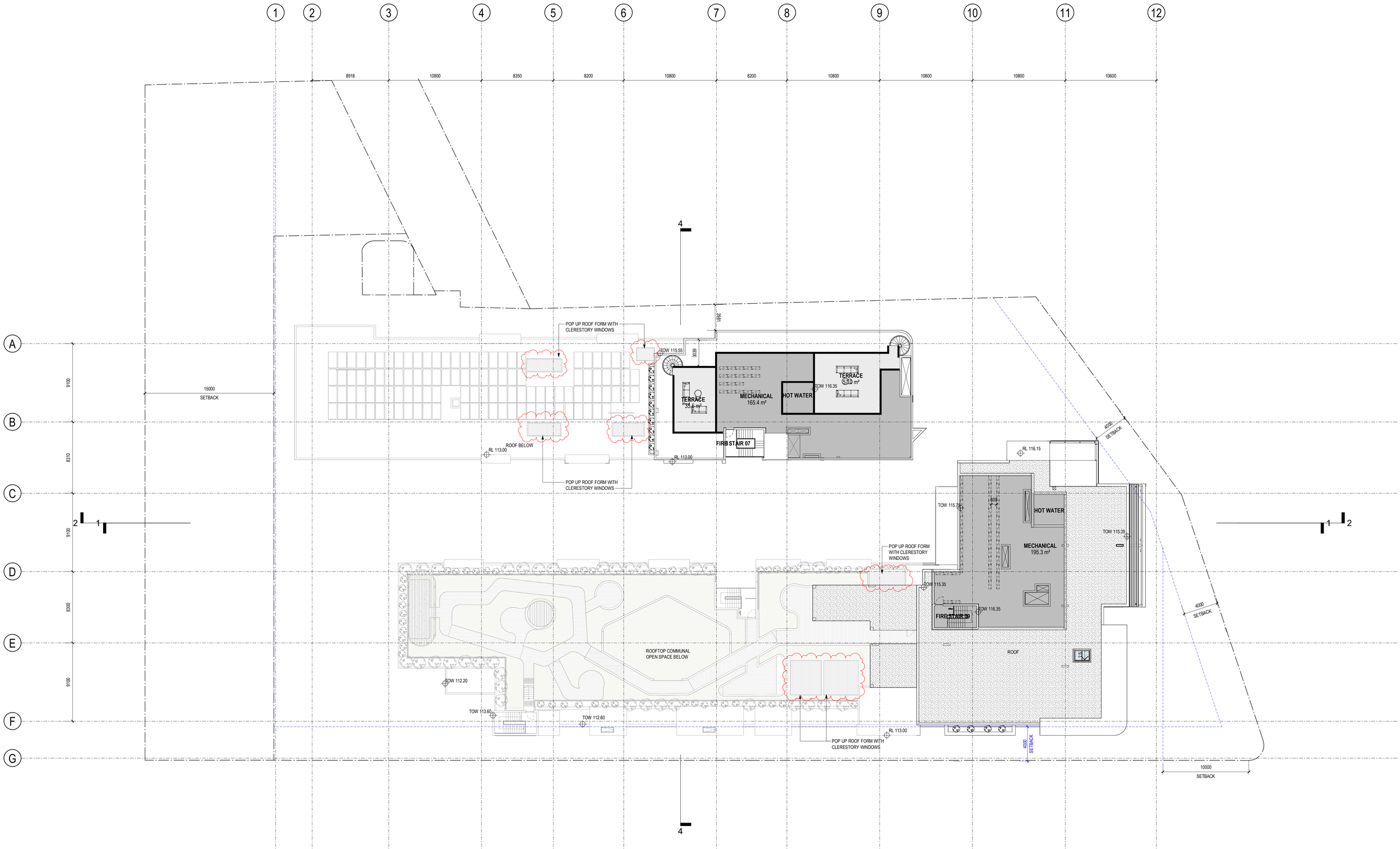

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi
B	24.06.22	S4.56 SUBMISSION RFI RESPONSE	ZZ

27/06/2022 10:21:42 AM

Project **BALFOUR PLACE** Drawing **Roof** Project No. **220023** Date **24.06.22** Author **JC** Scale: @ A1 **1 : 200** Drawing No. **DA-01-9** **B**

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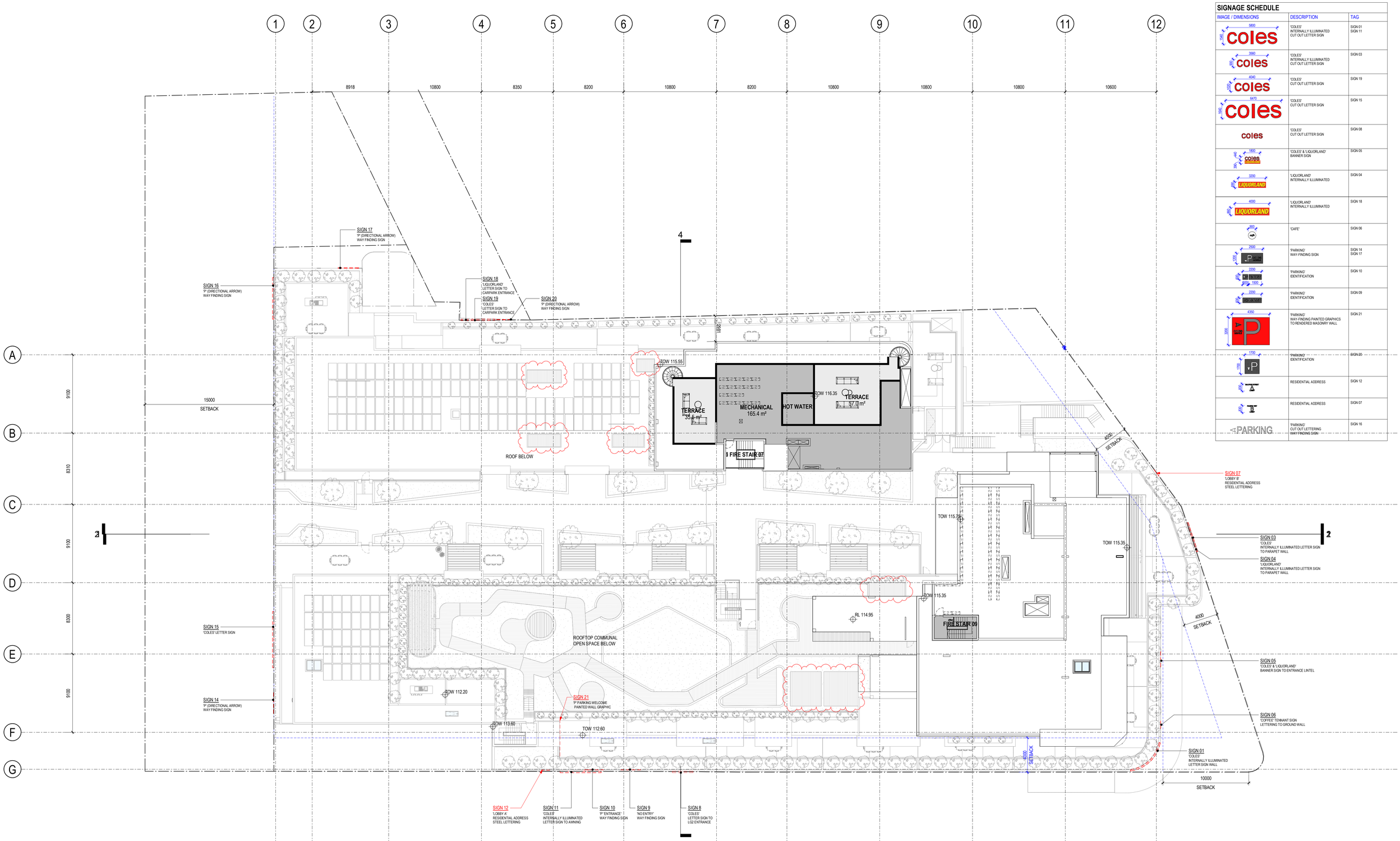

SIGNAGE SCHEDULE

IMAGE / DIMENSIONS	DESCRIPTION	TAG
9800 × 1365 coles	'COLES' INTERNALLY ILLUMINATED CUT OUT LETTER SIGN	SIGN 01 SIGN 11
3990 × 900 coles	'COLES' INTERNALLY ILLUMINATED CUT OUT LETTER SIGN	SIGN 03
4040 × 1000 coles	'COLES' CUT OUT LETTER SIGN	SIGN 19
6470 × 1365 coles	'COLES' CUT OUT LETTER SIGN	SIGN 15
coles	'COLES' CUT OUT LETTER SIGN	SIGN 08
1800 × 440 × 300 coles liquorland	'COLES' & 'LIQUORLAND' BANNER SIGN	SIGN 05
3200 × 900 LIQUORLAND	'LIQUORLAND' INTERNALLY ILLUMINATED	SIGN 04
4000 × 900 LIQUORLAND	'LIQUORLAND' INTERNALLY ILLUMINATED	SIGN 18
900	'CAFE'	SIGN 06
2500 × 1000 P	'PARKING' WAY-FINDING SIGN	SIGN 14 SIGN 17
2200 × 900 × 1500	'PARKING' IDENTIFICATION	SIGN 10
2200 × 900	'PARKING' IDENTIFICATION	SIGN 09
4350 × 900 P	'PARKING' WAY-FINDING PAINTED GRAPHICS TO RENDERED MASONRY WALL	SIGN 21
1700 × 1700 P	'PARKING' IDENTIFICATION	SIGN 20
850	RESIDENTIAL ADDRESS	SIGN 12
850	RESIDENTIAL ADDRESS	SIGN 07
PARKING	'PARKING' CUT OUT LETTERING WAY FINDING SIGN	SIGN 16

PRELIMINARY

Revisions				
	-	07.10.21	S4.56 SUBMISSION	JLi
	A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi
	B	24.06.22	S4.56 SUBMISSION RFI RESPONSE	ZZ

24/06/2022 1:11:24 PM

Project / **BALFOUR PLACE**

Drawing / **Signage**

Project No / **220023**

Date / **24.06.22**

Author / **JC**

Scale: @ A1 / **1 : 200**

Drawing No. / **DA-01-10** **B**

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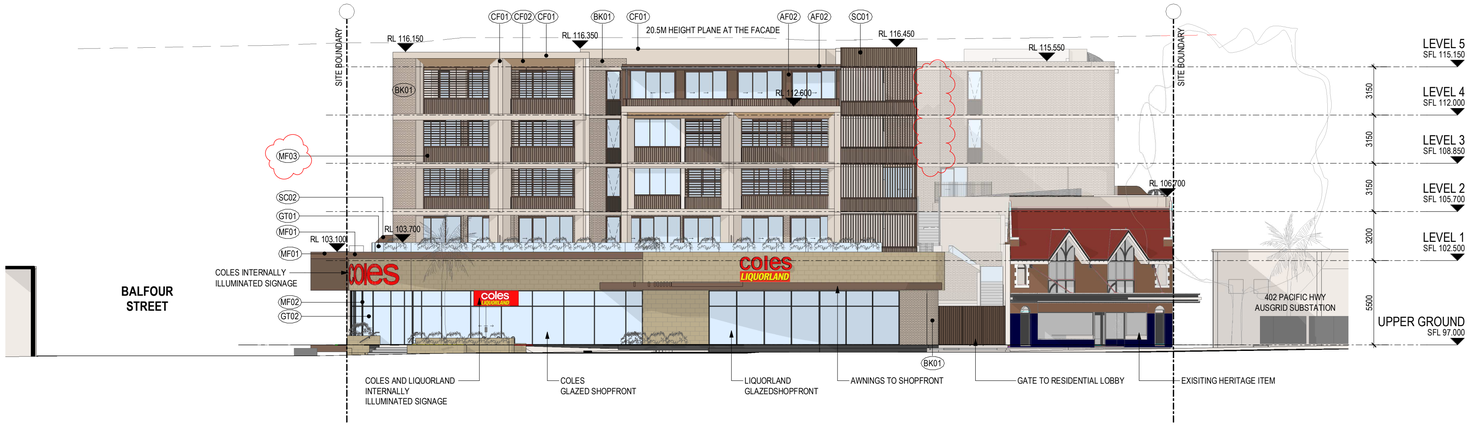

EAST ELEVATION

SOUTH ELEVATION

PRELIMINARY

Revisions			
-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

2/03/2022 3:18:58 PM

SYMBOL LEGEND:

GENERAL

- FFL 0.000 FINISHED FLOOR LEVEL
- RL 0.000 RELATIVE LEVEL
- SFL 0.000 STRUCTURAL FLOOR LEVEL

FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

- AF01 APPLIED FINISH TYPE 01
- AF02 APPLIED FINISH TYPE 02
- BK01 BRICK WORK TYPE 01
- CF01 IN SITU CONCRETE, TEXTURED FINISH
- CF02 PRECAST CONCRETE, TEXTURED FINISH
- CS01 CLADDING SYSTEM TYPE 01
- GT01 GLAZING TYPE 01
- GT02 GLAZING TYPE 02
- MF01 METAL FINISH TYPE 01
- MF02 METAL FINISH TYPE 02
- SC01 ALUMINIUM BALUSTRADE TYPE01
- SC02 ALUMINIUM BALUSTRADE TYPE02
- ST01 SANDSTONE CLADDING TYPE 01

Project / **BALFOUR PLACE** Drawing / **Elevations** Project No / **220023** Date / **23.02.22** Author / **JLi** Scale: @ A1 / **1 : 200** Drawing No. / **DA-02-1** **A**

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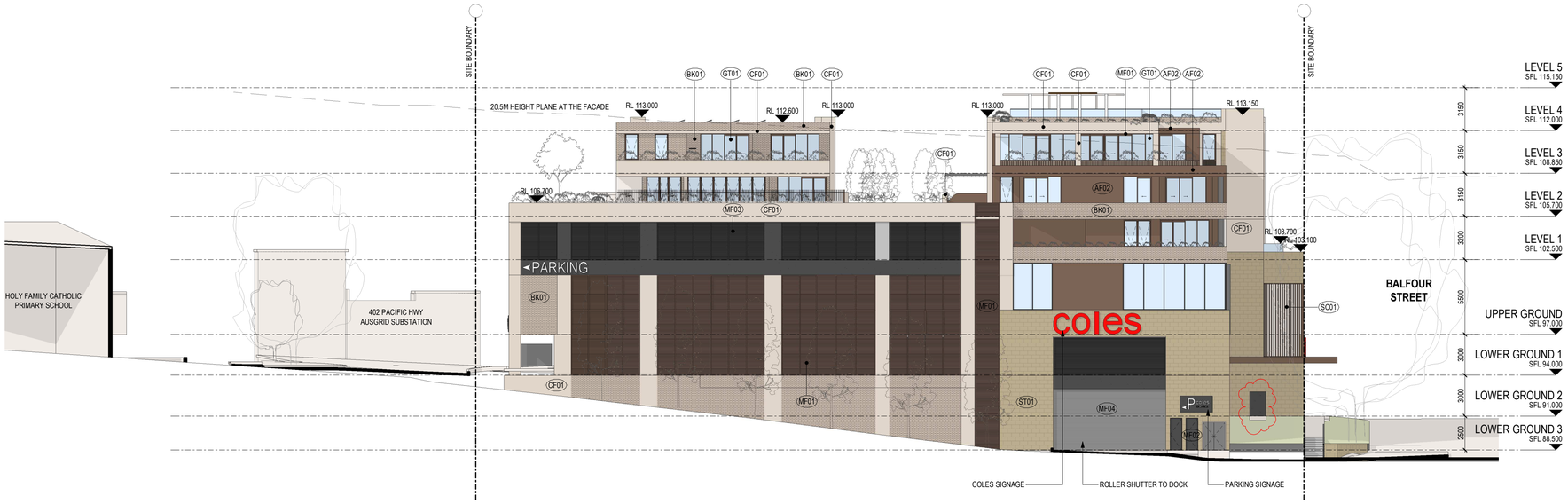

WEST ELEVATION

NORTH ELEVATION

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

2/03/2022 3:19:59 PM

SYMBOL LEGEND:

GENERAL

- FFL 0.000 — FINISHED FLOOR LEVEL
- RL 0.000 — RELATIVE LEVEL
- SFL 0.000 — STRUCTURAL FLOOR LEVEL

FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

- AF01 — APPLIED FINISH TYPE 01
- AF02 — APPLIED FINISH TYPE 02
- BK01 — BRICK WORK TYPE 01
- CF01 — IN SITU CONCRETE, TEXTURED FINISH
- CF02 — PRECAST CONCRETE, TEXTURED FINISH
- CS01 — CLADDING SYSTEM TYPE 01
- GT01 — GLAZING TYPE 01
- GT02 — GLAZING TYPE 02
- MF01 — METAL FINISH TYPE 01
- MF02 — METAL FINISH TYPE 02
- SC01 — ALUMINIUM BALUSTRADE TYPE01
- SC02 — ALUMINIUM BALUSTRADE TYPE02
- ST01 — SANDSTONE CLADDING TYPE 01

Project: **BALFOUR PLACE** | Drawing: **Elevations** | Project No: **220023** | Date: **23.02.22** | Author: **JLi** | Scale: @ A1: **1 : 200** | Drawing No.: **DA-02-2** | **A**

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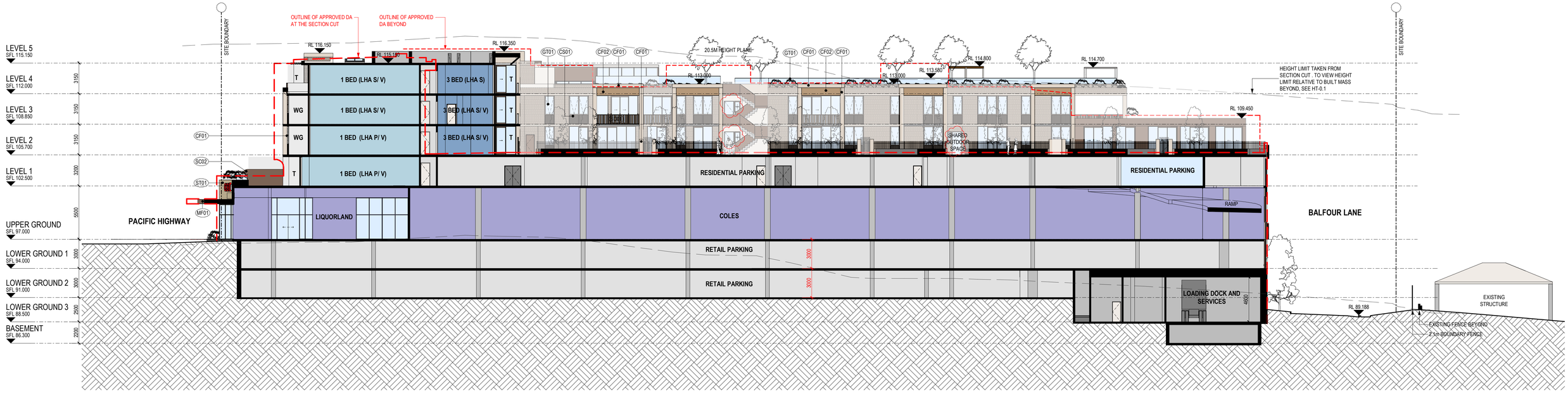
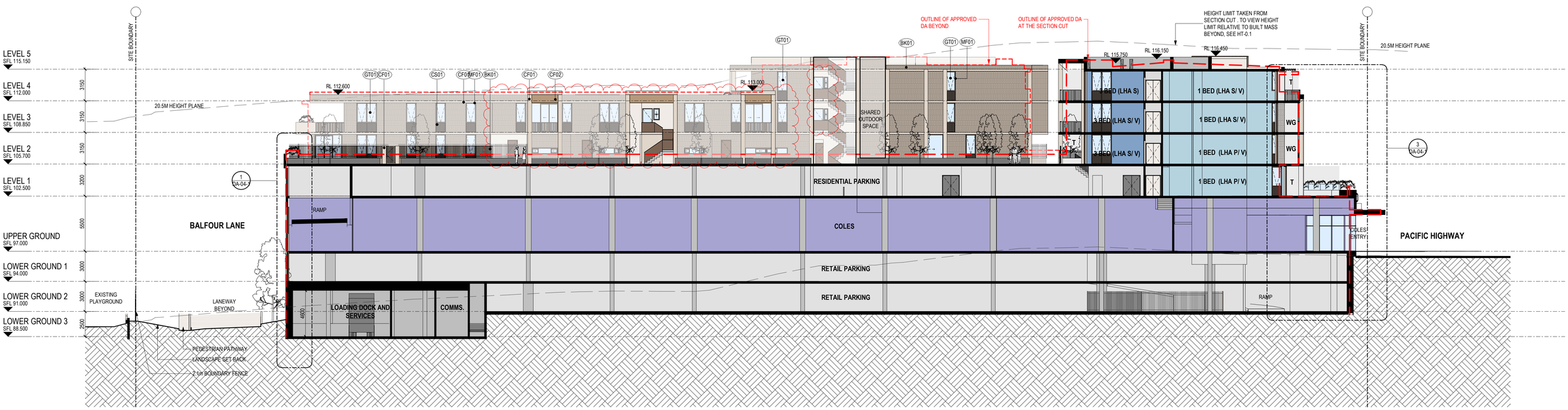


SECTION 01



SECTION 02

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

3/03/2022 8:43:40 AM

SYMBOL LEGEND:

GENERAL

- FFL 0.000 FINISHED FLOOR LEVEL
- RL 0.000 RELATIVE LEVEL
- SFL 0.000 STRUCTURAL FLOOR LEVEL

FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

- AF01 APPLIED FINISH TYPE 01
- AF02 APPLIED FINISH TYPE 02
- BK01 BRICK WORK TYPE 01
- CF01 IN SITU CONCRETE, TEXTURED FINISH
- CF02 PRECAST CONCRETE, TEXTURED FINISH
- CS01 CLADDING SYSTEM TYPE 01
- GT01 GLAZING TYPE 01
- GT02 GLAZING TYPE 02
- MF01 METAL FINISH TYPE 01
- MF02 METAL FINISH TYPE 02
- SC01 ALUMINIUM BALUSTRADE TYPE01
- SC02 ALUMINIUM BALUSTRADE TYPE02
- ST01 SANDSTONE CLADDING TYPE 01

Project BALFOUR PLACE

Drawing Sections

Project No 220023

Date 23.02.22

Author DM

Scale: @ A1 1 : 200

Drawing No. DA-03-1

A

376-390 Pacific Highway 1 Balfour Street and Balfour Lane, Lindfield NSW

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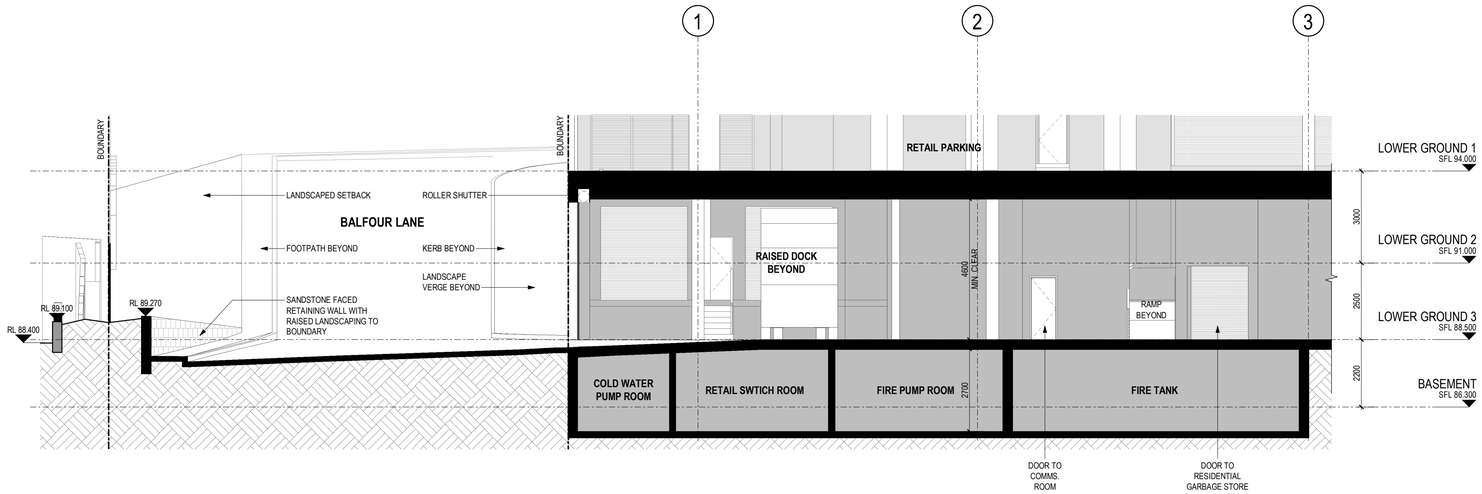
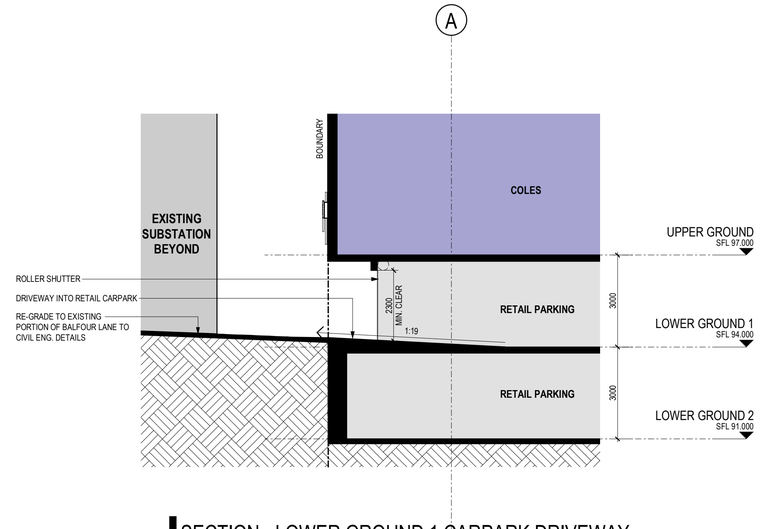
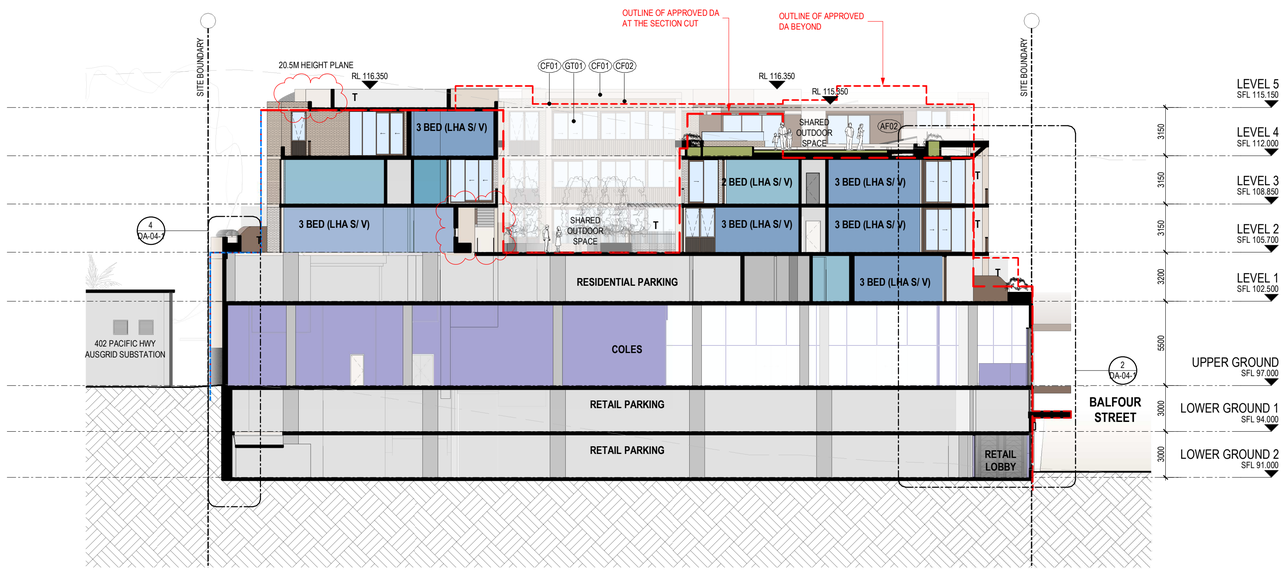


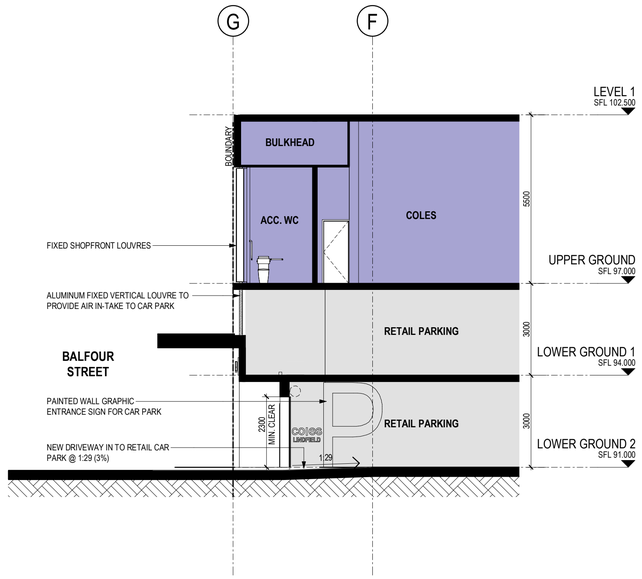
LOWER GROUND 2 LOADING DOCK DRIVEWAY



SECTION - LOWER GROUND 1 CARPARK DRIVEWAY



SECTION 04



SECTION - LOWER GROUND 2 CAR PARK DRIVEWAY

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

3/03/2022 8:43:52 AM

SYMBOL LEGEND:

GENERAL

- FFL 0.000 FINISHED FLOOR LEVEL
- RL 0.000 RELATIVE LEVEL
- SFL 0.000 STRUCTURAL FLOOR LEVEL

FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

AF01	APPLIED FINISH TYPE 01	GT01	GLAZING TYPE 01
AF02	APPLIED FINISH TYPE 02	GT02	GLAZING TYPE 02
BK01	BRICK WORK TYPE 01	MF01	METAL FINISH TYPE 01
CF01	IN SITU CONCRETE, TEXTURED FINISH	MF02	METAL FINISH TYPE 02
CF02	PRECAST CONCRETE, TEXTURED FINISH	SC01	ALUMINIUM BALUSTRADE TYPE01
CS01	CLADDING SYSTEM TYPE 01	SC02	ALUMINIUM BALUSTRADE TYPE02
		ST01	SANDSTONE CLADDING TYPE 01

Project: **BALFOUR PLACE**

376-390 Pacific Highway 1 Balfour Street and Balfour Lane, Lindfield NSW

Drawing: **Sections**

Project No: **220023**

Date: **23.02.22**

Author: **DM**

Scale: @ A1 **As indicated**

Drawing No. **DA-03-2** **A**

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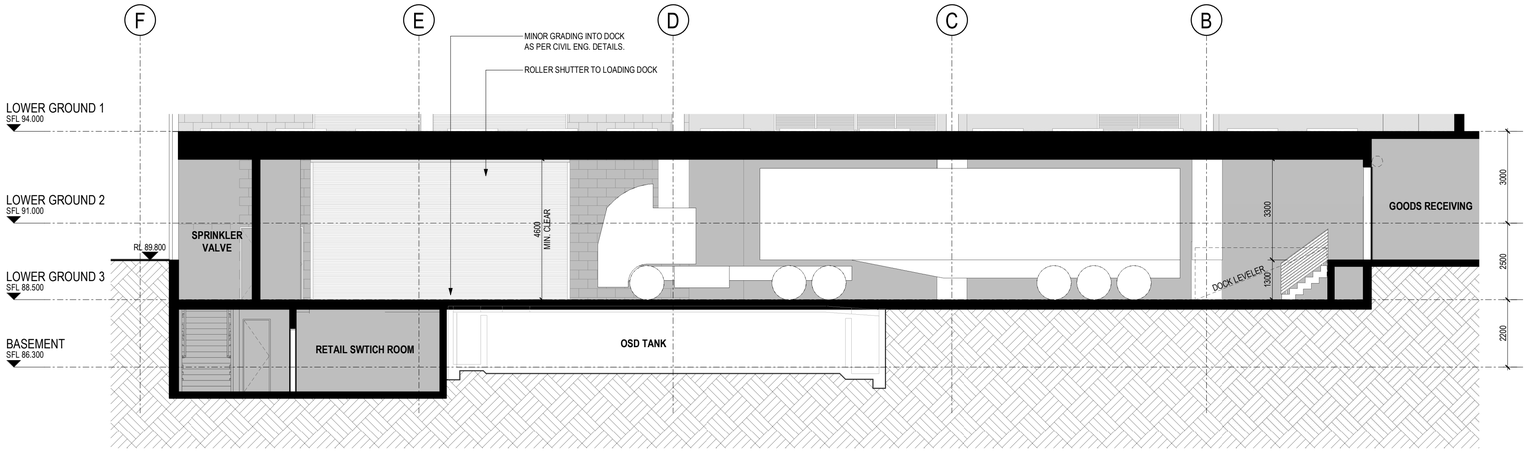
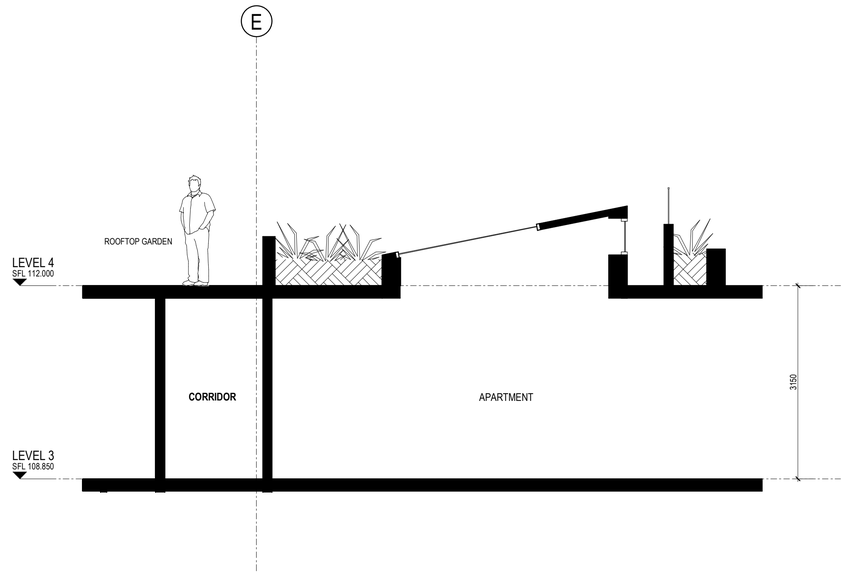
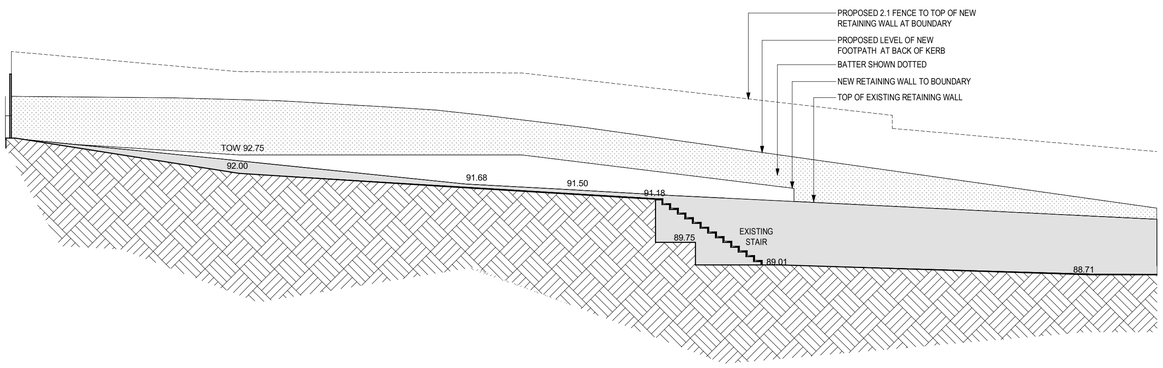
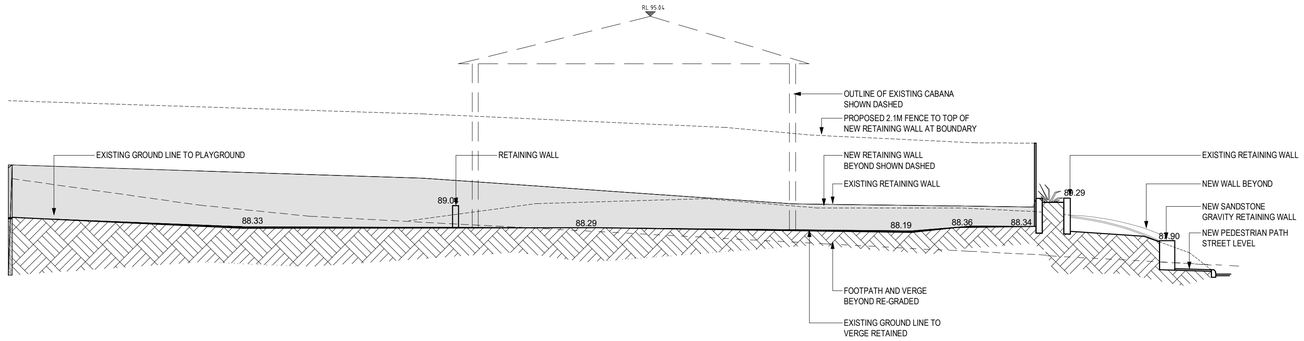


SECTION 8 - LOADING DOCK LONG



SECTION 10 - SKYLIGHT ON ROOFTOP GARDEN





SECTION 9 - PROPOSED BALFOUR LANE BOUNDARY

PRELIMINARY

Revisions			
-	07.10.21	S4.56 SUBMISSION	JLi

11/10/2021 3:20:49 PM

SYMBOL LEGEND:

GENERAL

- FFL 0.000 FINISHED FLOOR LEVEL
- RL 0.000 RELATIVE LEVEL
- SFL 0.000 STRUCTURAL FLOOR LEVEL

FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

AF01	APPLIED FINISH TYPE 01	GT01	GLAZING TYPE 01
AF02	APPLIED FINISH TYPE 02	GT02	GLAZING TYPE 02
BK01	BRICK WORK TYPE 01	MF01	METAL FINISH TYPE 01
CF01	IN SITU CONCRETE, TEXTURED FINISH	MF02	METAL FINISH TYPE 02
CF02	PRECAST CONCRETE, TEXTURED FINISH	SC01	ALUMINIUM BALUSTRADE TYPE01
CS01	CLADDING SYSTEM TYPE 01	SC02	ALUMINIUM BALUSTRADE TYPE02
		ST01	SANDSTONE CLADDING TYPE 01

Project / **BALFOUR PLACE**

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Drawing / **Sections**

Project No / **220023**

Date / **07.10.21**

Author / **DM**

Scale: @ A1 / **As indicated**

Drawing No. / **DA-03-3** -

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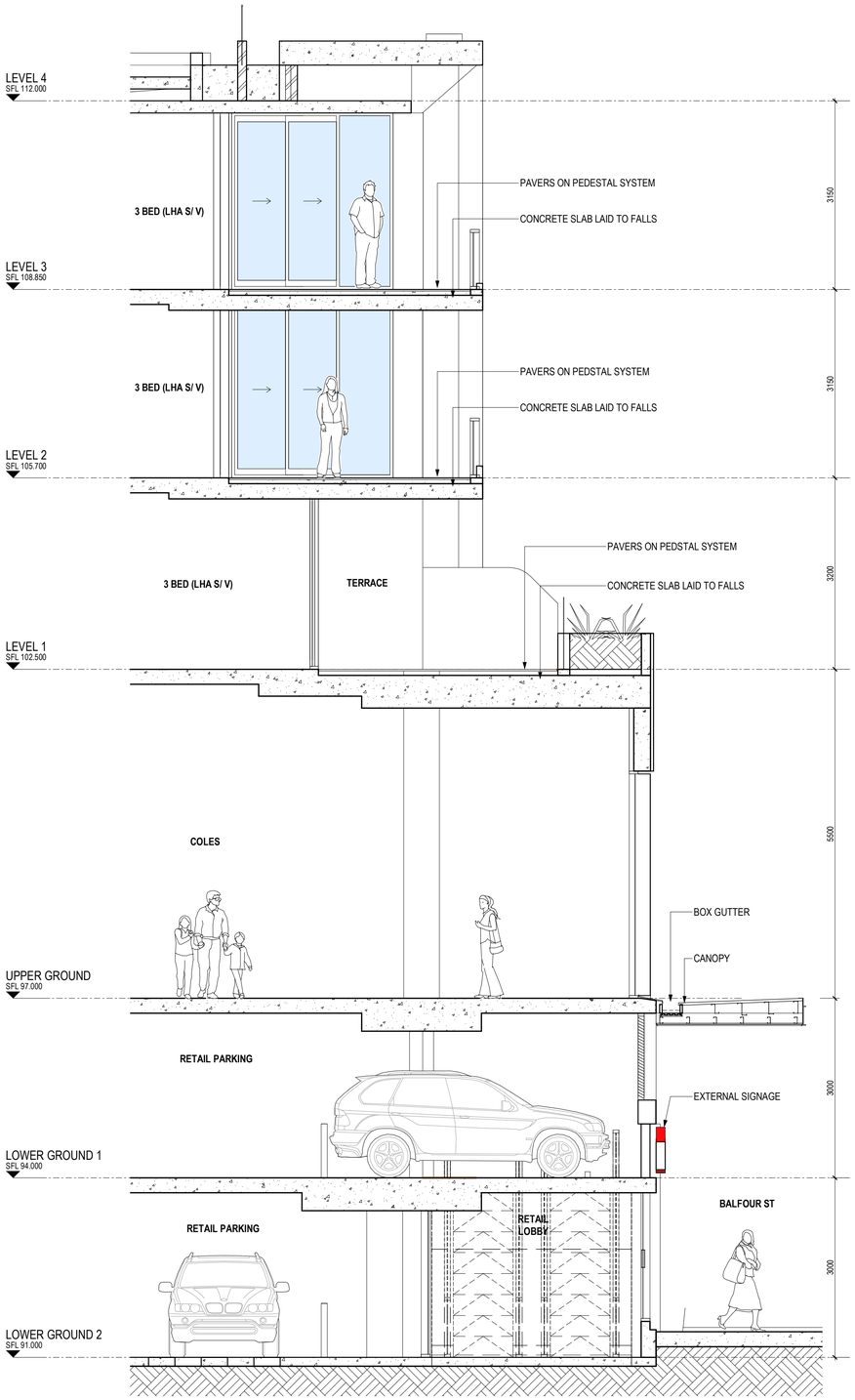
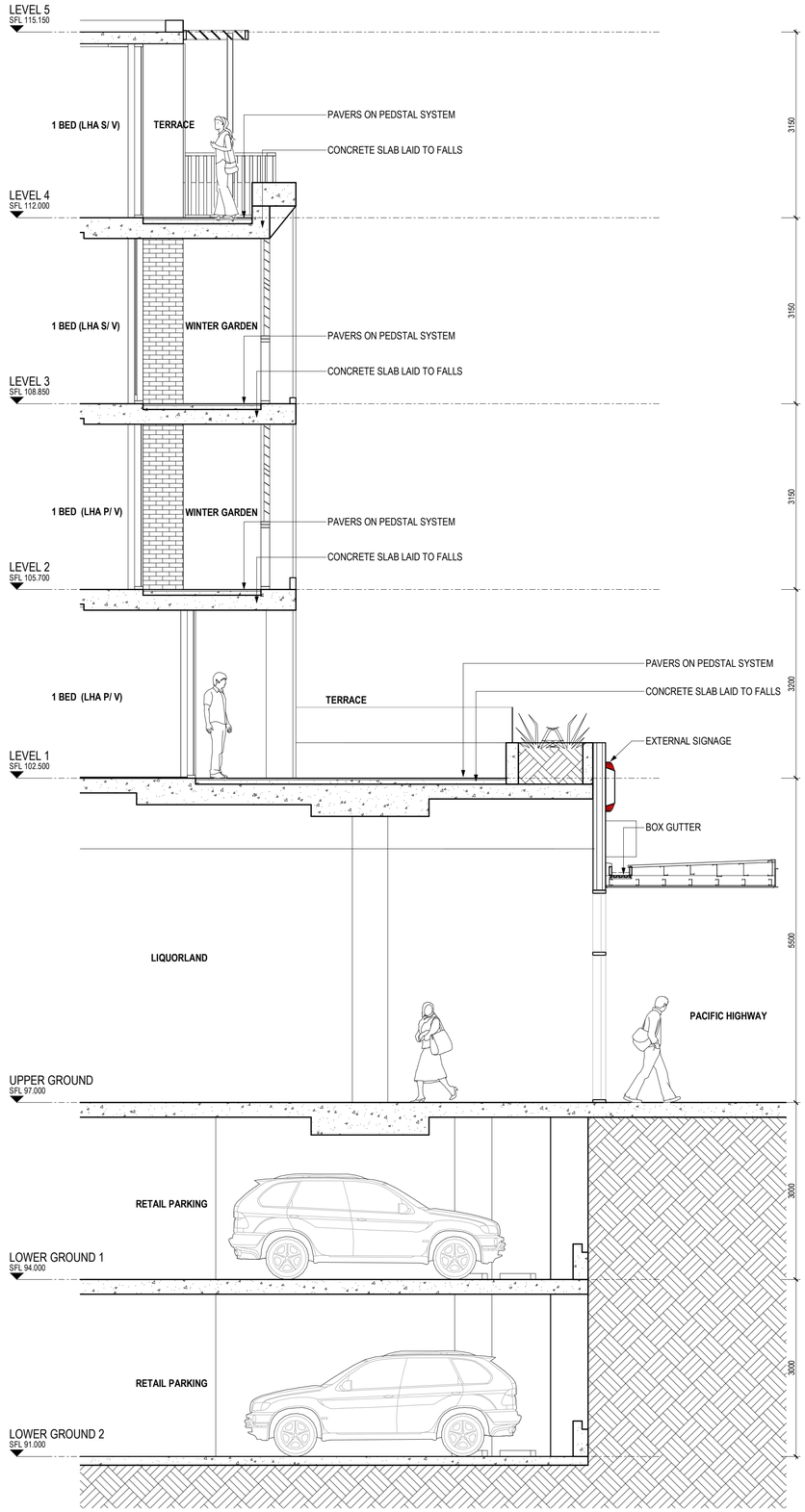
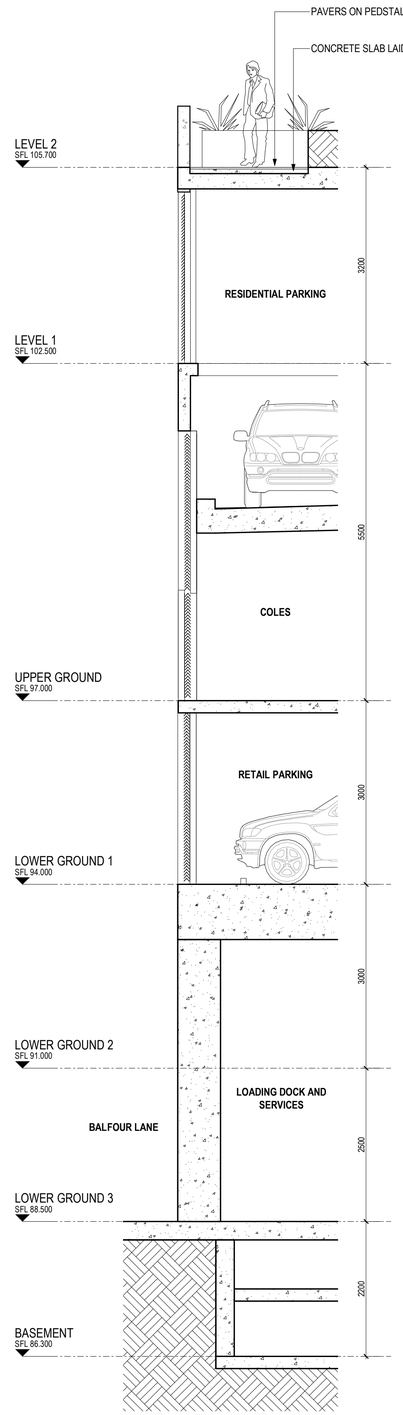


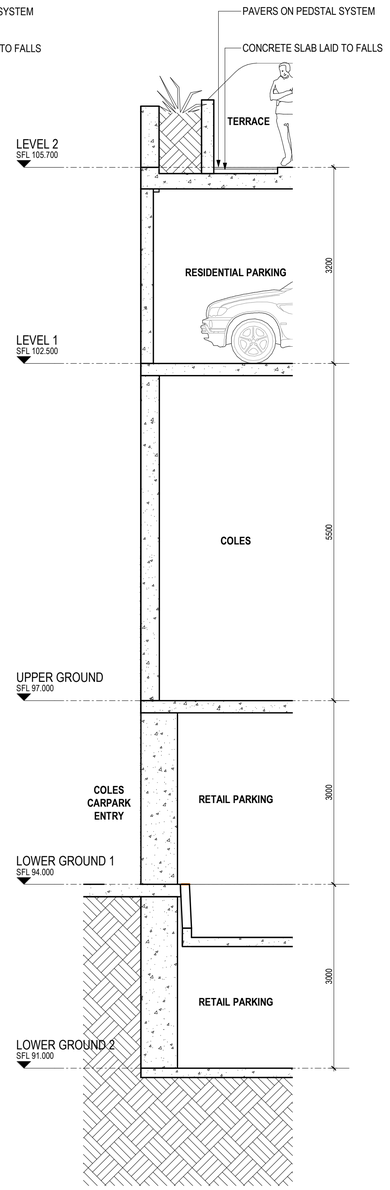
SECTION - TRAVELLATOR LOBBY/BALFOUR ST.



SECTION - CARPARKING LEVELS - PACIFIC HIGHWAY



CARPARKING LEVELS - BALFOUR LANE



SECTION - WALL FACING SUBSTATION

PRELIMINARY

Revisions			
-	07.10.21	S4.56 SUBMISSION	JLi

11/10/2021 2:11:54 PM

Project **BALFOUR PLACE** | Drawing **Detail Sections** | Project No **220023** | Date **07.10.21** | Author **DM** | Scale: @ A1 **1 : 50** | Drawing No. **DA-04-1** | **-**

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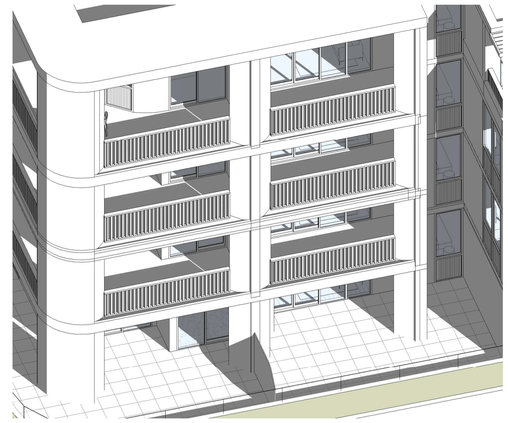
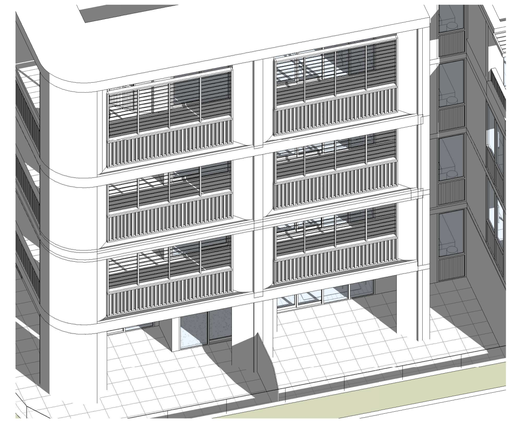
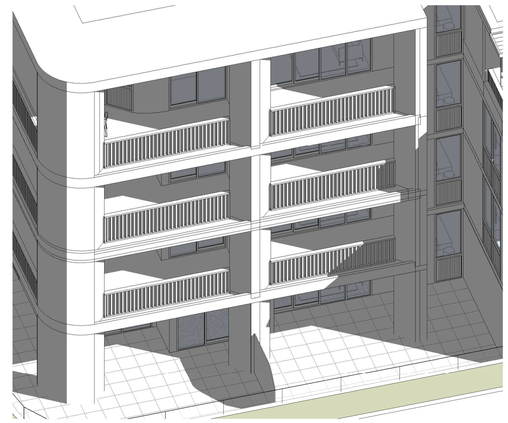


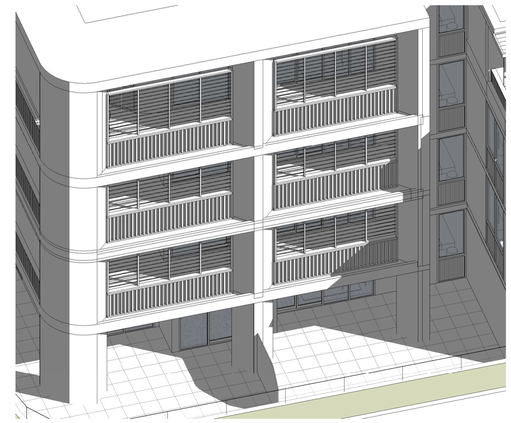
WINTER SOLSTICE 10AM



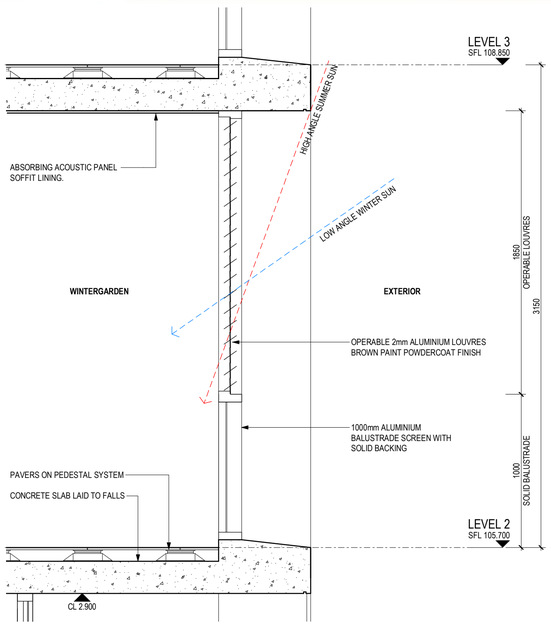
WINTER SOLSTICE 10AM



WINTER SOLSTICE 12PM



WINTER SOLSTICE 12PM



ACOUSTIC LOUVRE

ACOUSTIC LOUVRE DEMONSTRATION

The above images demonstrate the performance of the proposed facade screens/acoustic louvres to the Pacific Highway frontage

The louvres have been designed to consider noise reduction, air flow and solar access to enable the greatest possible amenity to the private spaces impacted by noise from the highway.

The screens are aluminium, with a brown paint powdercoat finish and consist of operable louvres up to the underside of the soffit. Sitting atop a 1000mm high aluminium balustrade, these louvres consists of 2mm solid aluminium which are able to be entirely closed forming a solid sound barrier across the full height of the balcony. The louvres will be sealed with an acoustic rated gasket.

The images above demonstrate solar access to corner units on the winter solstice between 9am and 12 pm (times identified by wintech in which these units receive solar access). As seen, the extent of the shadow is not impacted by the presence of the louvres demonstrating solar access even when closed.

FINISHES

All screens are finished with a brown paint powdercoated finish. See DA-02-3 - External Finishes Schedule for the louvre schedule which nominates consistent finishes throughout the proposal.

PRELIMINARY

Revisions			
-	07.10.21	S4.56 SUBMISSION	JLi

11/10/2021 2:13:39 PM

Project **BALFOUR PLACE** | Drawing **Acoustic Louvre Detail** | Project No **220023** | Date **07.10.21** | Author **JC** | Scale: @ A1 **1 : 20** | Drawing No. **DA-04-6** -

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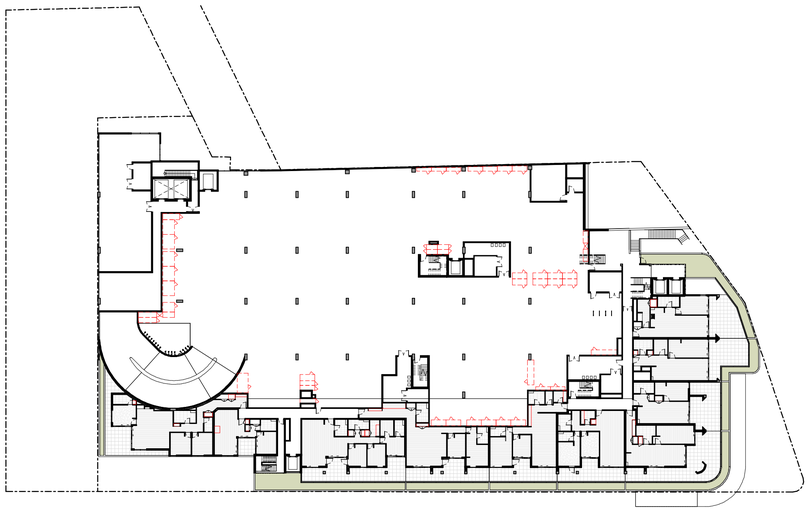
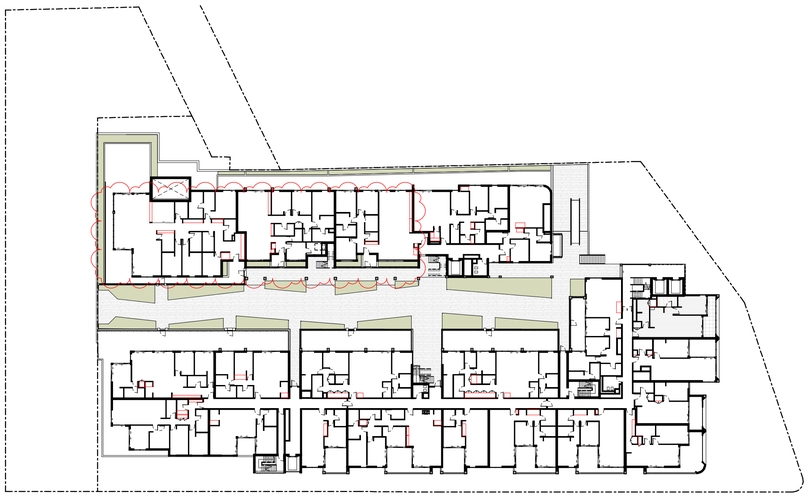
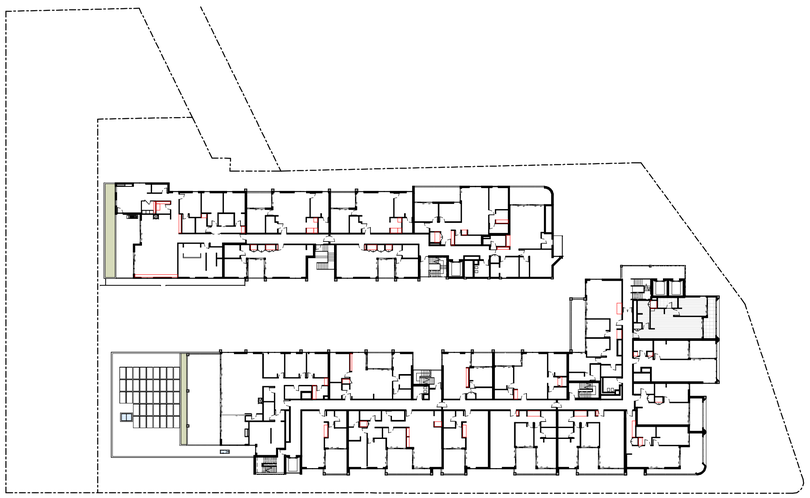


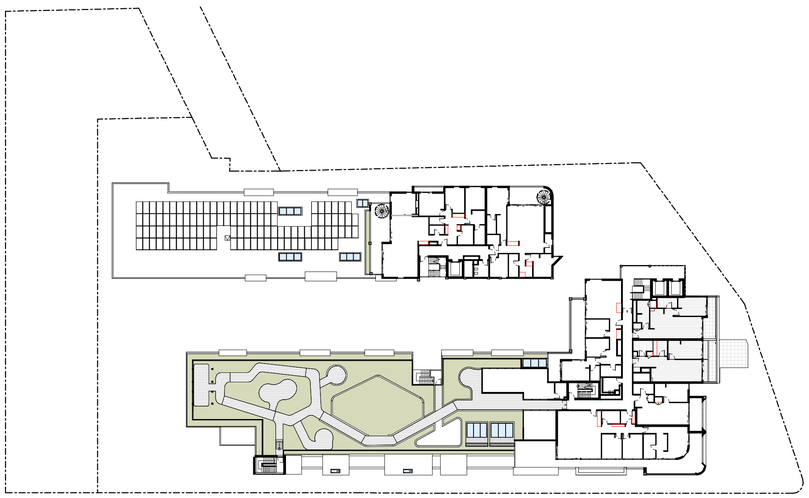
LEVEL 1



LEVEL 2



LEVEL 3



LEVEL 4

STORAGE Residential L1 Above		
LEVEL 1		
101	1 BED (LHA P/ V)	3 m³
102	1 BED (LHA P/ V)	3 m³
103	1 BED (LHA P/ V)	3 m³
104	1 BED (LHA P/ V)	5 m³
105	2 BED (LHA S/ V)	5 m³
106	2 BED (LHA S/ V)	7 m³
107	2 BED (LHA S/ V)	13 m³
108	3 BED (LHA S/ V)	8 m³
109	1 BED (LHA S)	6 m³
110	3 BED (LHA S/ V)	9 m³
LEVEL 2		
201	1 BED (LHA P/ V)	3 m³
202	1 BED (LHA P/ V)	3 m³
203	1 BED (LHA P/ V)	3 m³
204	1 BED (LHA P/ V)	5 m³
205	3 BED (LHA S/ V)	7 m³
206	2 BED (LHA S)	5 m³
207	3 BED (LHA S/ V)	15 m³
208	2 BED (LHA S)	5 m³
209	1 BED (LHA S)	3 m³
210	3 BED (LHA S/ V)	9 m³
211	3 BED (LHA S/ V)	8 m³
212	2 BED (LHA S)	6 m³
213	1 BED (LHA S)	3 m³
214	1 BED (LHA S/ V)	3 m³
215	3 BED (LHA S/ V)	9 m³
216	3 BED (LHA S)	7 m³
217	4 BED (LHA S/ V)	24 m³
220	3 BED (LHA S/ V)	9 m³
222	3 BED (LHA S/ V)	13 m³
223	3 BED (LHA S/ V)	9 m³
224	2 BED (LHA S)	6 m³
LEVEL 3		
301	1 BED (LHA S/ V)	3 m³
302	1 BED (LHA S/ V)	3 m³

STORAGE Residential L1 Above		
303	1 BED (LHA P/ V)	3 m³
304	1 BED (LHA P/ V)	5 m³
305	3 BED (LHA S/ V)	7 m³
306	2 BED (LHA S)	5 m³
307	2 BED (LHA S/ V)	5 m³
308	2 BED (LHA S)	5 m³
309	1 BED (LHA S)	3 m³
310	1 BED (LHA S)	3 m³
311	2 BED (LHA S/ V)	5 m³
312	3 BED (LHA S/ V)	8 m³
313	4 BED (LHA S/ V)	5 m³
314	1 BED (LHA S)	3 m³
315	4 BED (LHA S/ V)	19 m³
317	2 BED (LHA S/ V)	5 m³
318	1 BED (LHA S/ V)	6 m³
319	2 BED (LHA S/ V)	5 m³
320	1 BED (LHA S/ V)	6 m³
321	3 BED (LHA S/ V)	11 m³
322	2 BED (LHA S)	5 m³
LEVEL 4		
401	1 BED (LHA S/ V)	3 m³
402	1 BED (LHA S/ V)	7 m³
403	1 BED (LHA S/ V)	3 m³
404	3 BED (LHA S/ V)	9 m³
405	3 BED (LHA S)	6 m³
406	3 BED (LHA S/ V)	9 m³
407	3 BED (LHA S/ V)	7 m³

Storage at LV1 Carpark	
VOLUME	NO. OF STORAGE CASES
3m³	13
4m³	6
5m³ +	27

TOTAL STORAGE: 46

PRELIMINARY

Revisions

-	07.10.21	S4.56 SUBMISSION	JLi
A	23.02.22	S4.56 SUBMISSION RFI RESPONSE	JLi

2/03/2022 3:23:10 PM

Project **BALFOUR PLACE** Drawing **Storage Plans** Project No **220023** Date **23.02.22** Author **DM** Scale: @ A1 **1 : 500** Drawing No. **TP10.04** **A**

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